



5/2/2022, 3:55:44 PM PRJ-1050447 Saira Nunez

GENERAL NOTES



or qualified person(s) as indicated below:

Storm Water Quality Notes - Construction BMP's is project shall comply with all current requirements of the State Permit; California Regional Vater Quality Control Board (SDRWQCB), San Diego Municipal StormWater Permit, The City of San Diego Land Development Code, and the StormWater Standards Manual. Prior to any soil disturbance, temporary sediment controls shall be installed by the contractor

1. All requirements of the City of San Diego "StormWater Standards Manual" must be ncorporated into the design and construction of the proposed grading/improvements consistent with the approved storm water pollution prevention plan (SWPPP) and/or Water Pollution Control Plan (WPCP) for construction level BMPs and, if applicable, the Storm Water Quality Management Plan (SWQMP) for post-construction BMPs.

. The contractor shall install and maintain all storm drain inlet protection. Inlet protection in the public right-of-way must be temporarily removed prior to a rain event to ensure no flooding occurs and reinstalled after rain is over.

3. All construction BMPs shall be installed and properly maintained throughout the duration of construction.

4. The contractor shall only grade, including clearing and grubbing, areas for which the contractor or qualified contact person can provide erosion and sediment control measures. The contractor is responsible for ensuring that all subcontractors and suppliers are aware of all stormwater BMPs and implement such measures. Failure to comply with the approved SWPPP/WPCP will result in the issuance of correction notices, citations, civil penalties, and/or stop work notices.

The contractor or qualified contact person shall be responsible for cleanup of all silt, debris, and mud on affected and adjacent street(s) and within storm drain system due to construction vehicles/equipment and construction activity at the end of each work day. The contractor shall protect new and existing stormwater conveyance systems from sedimentation, concrete rinse, or other construction-related debris and discharges with the appropriate BMPs that are acceptable to the city resident engineer and as indicated in the

B. The contractor or qualified contact person shall clear debris, silt, and mud from all ditches and swales prior to and within 3 business days after each rain event or prior to the next rain 8070 LA JOLLA SHORES DRIVE 433 event, whichever is sooner.

9. If a non-storm water discharge leaves the site, the contractor shall immediately stop the activity and repair the damages. The contractor shall notify the city resident engineer of the discharge, prior to resuming construction activity. Any and all waste material, sediment, and debris from each non-storm water discharge shall be removed from the storm drain conveyance system and properly disposed of by the contractor.

10. Equipment and workers for emergency work shall be made available at all times. All necessary materials shall be stockpiled onsite at convenient locations to facilitate rapid deployment of construction BMPs when rain is imminent.

1. The contractor shall restore and maintain all erosion and sediment control BMPs to working order uear-round. 12. The contractor shall install additional erosion and sediment control measures due to

unforeseen circumstances to prevent non-storm water and sediment-laden discharges. 13. The contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded waters create a hazardous condition. 14. All erosion and sediment control measures provided per the approved SWPPP/WPCP shall be installed and maintained. All erosion and sediment controls for interim conditions sha be properly documented and installed to the satisfaction of the city resident engineer. 15. As necessary, the city resident engineer shall schedule meetings for the project team general contractor, qualified contact person, erosion control subcontractor if any, engineer of work, owner/developer, and the city resident engineer) to evaluate the adequacy of the erosion and sediment control measures and other BMPs relative to anticipated construction

16. The contractor or qualified contact person shall conduct visual inspections and maintain all BMPs daily as needed. Visual inspections and maintenance of all BMPs shall be conducted before, during, and after every rain event and every 24 hours during any prolonged rain event. The contractor shall maintain and repair all BMPs as soon as possible as safety allows. 7. Construction Entrance and Exit Area. Temporaru construction entrance and exits shall be

constructed in accordance with CASQA fact sheet TC-1 or Caltrans Fact Sheet TC-01 to prevent tracking of sediment and other potential pollutants onto paved surfaces and traveled ways. Width shall be 10' or the minimum necessary to accommodate vehicles and equipment without by-passing the entrance. (a) Non-storm water discharges shall be effectively managed per the San Diego Municipal Code Chapter 4, Article 3, Division 3 StormWater Management and Discharge Control".

Swimming Pool Heating/Lighting

1. Reference 2019 Residential Compliance Manual Section 5.10 Swimming Pool Heating. Any new or replacement gas or electric swimming pool heater system in a residential occupancy shall be equipped with all of the following:

An ON/OFF switch mounted on the outside of the heater for easy access. A permanent weatherproof plate or card, easily readable, giving instructions for the efficient operation of the swimming pool.

Pool and Spa heaters may not have continuously burning pilot lights. A length of plumbing (36" min.) between the filter and the heater to allow for future solar

Outdoor pool/spas equipped with gas or electric heater shall also be equipped with a pool/spa cover. The cover should be fitted and installed during the final inspection. All luminaires mounted to the building or to other buildings on the same lot shall be high efficacy luminaires or must be controlled by a motion sensor AND controlled by one of hese: photocontrol or astronomical time clock, or energy management control system

B. All doors with direct access to the pool shall be equipped with door alarms. I. All gates with direct access to the pool shall be self-latching and self-closing.

Pool/Spa Systems and Equipment Measures: § 110.4(a): Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operation instructions; and must not use electric resistance heating. 110.4(b)1: Piping. Any pool or spa heating equipment must be installed with at least 36" of

pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating. § 110.4(b)2: Covers. Outdoor pools or spas that have a heat pump or gas heater must

110.4(b)3: Directional inlets and time switches for pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or

programmed to run only during off-peak electric demand periods. § 110.5Pilot Light. Natural gas pools and spa heaters must not have a continuously burning

§ 150.0(p): Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves. Drainage & Grades Notes:

All concentrated flows must be conveyed in pipe & connect/discharge to public drainage All runoff from proposed impervious areas will be treated by sheet flow through existing

andscaping prior to discharge/connect to storm drain system. Project will comply with the following codes:

2019 California Residential Code 2019 California Electrical Code

2019 California Green Building Code

-2019 California Mechanical Code 2019 California Plumbing Code

2019 California Building Energy Efficiency Standards

The structure(s) will be located entirely on undisturbed native soil. If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that the report recommendations have been incorporated, may be required. Signature Randy Martin Owner Licensed Engineer / Architect

EARTHWORKS

Cut Quantities: 50 yd³ Export: 50 yd³ Max Cut Depth: 6 ft. Total Disturbance Area: 512 ft²

Fill Quantities: 0 yd3 Import: 0 yd³ Max Fill Depth: 0 ft. Existing Impervious Area: 6,552 ft² Proposed Impervious Area: 104 ft² Total Impervious Area: 6,656 ft² Impervious % Increase: 1.6 %

NOTE: Impervious areas shall include: roof, sidewalk, parking areas, walkways, pool decks, etc.

This project proposes to export 50 cubic yards of material from this site. All export material shall be discharged to a legal disposal site. The approval of this project does not allow processing and sale of the material, all such activities require a separate Conditional Use Permit.



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CONTRACTOR:

SAN DIEGO POOLS LA JOLLA, CA 92037 (888) 737-6657 LIC#410251 C-53

PROPERTY OWNER:

MARTIN RESIDENCE 6334 LA PINTURA DRIVE LA JOLLA, CA 92037

EGAL DESCRIPTION:

APN: 352-501-06-00 LOT 6 MAP: 3194 MURILANDS CREST UNIT #1 ZONE: RS-1-2

SCOPE OF WORK:

PROPOSED MASTER PLAN POOL AND SPA 512ft² 6' DEPTH

EGEND

PROPERTY LINE FENCE DRAINAGE FLOW

SHEET INDEX: SP-2

SHEET 100

SITE PLAN NOTES/DS-560 MP#654695



DATE: 1/13/2022

SCALE: 1" = 30"

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Stormwater Requirements Applicability Checklist

6334 LA PINTURA DR. LA JOLLA 92037

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual. Some sites are also required to obtain coverage under the State Construction General Permit (CGP)¹, administered by the

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
- O Yes, SWPPP is required; skip questions 2-4.
- No; proceed to the next question.
- 2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
- Yes, WPCP is required; skip questions 3-4.
- O No; proceed to the next question.
- 3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
- O Yes, WPCP is required; skip question 4.
- O No; proceed to the next question.
- 4. Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit,
 - · Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service. • Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following
 - activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments.

☐ Yes, no document is required.

Check one of the boxes below and continue to Part B

- If you checked "Yes" for question 1, an SWPPP is REQUIRED continue to Part B
- (a) If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B
- If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

More information on the City's construction BMP requirements as well as CGP requirements can be found at

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PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt." • If "no" is checked for all questions in Part D, continue to Part E.
- 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
- Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable
- · Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or; • Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the
- City's Stormwater Standards manual?

O Yes, PDP exempt requirements apply

No, proceed to next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?

O Yes, PDP exempt requirements apply

No, proceed to next question

PART E – Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project." If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."
- 1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
- 2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious OYes **⊙**No surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
- OYes **⊙**No 3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.
- 4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet 💍 Yes 🔘 No or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.
- 5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet OYes No or more of impervious surface (collectively over the project site).
- 6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency ased on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete Part B and continue to Section 2

1. ASBS

- A. Projects located in the ASBS watershed.
- 2. High Priority
 - A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed
 - B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.
- 3. Medium Priority
 - A. Projects that are not located in an ASBS watershed or designated as a High priority site.
 - B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.
 - C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management
- 4. Low Priority
 - A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the <u>Stormwater Standards Manual</u>.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the <u>Stormwater Standards Manual</u> are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP
- If "no" is checked for all the numbers in Part C: Continue to Part D.
- 1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not

- 2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? O Yes

 No
- 3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

O Yes

No

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OYes **⊙** No

OYes ONo

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- 7. New development or redevelopment discharging directly to an environmentally sensitive area. The O Yes **⊙** No project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).
- 8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per
- 9. New development or redevelopment projects of an automotive repair shop that creates and/or of Standard Industrial Classification (SIC) codes <u>5013</u>, <u>5014</u>, <u>5541</u>, <u>7532-7534</u> or <u>7536-7539</u>.
- 10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but O Yes No involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.

PART F – Select the appropriate category based on the outcomes of Part C through Part E

Signature Jennifer Rasmussen

- 1. The project is **NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS** OYes ONo 2. The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements Yes O No apply. See the Stormwater Standards Manual for guidance. 3. The Project is **PDP EXEMPT**. Site design and source control BMP requirements apply. Refer to the OYes ONo Stormwater Standards Manual for guidance.
- 4. The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management.



Name of Owner or Agent JENNIFER RASMUSSEN Title AGENT

Date 1/19/2022

COVID-19 CONSTRUCTION JOB SITE REQUIREMENTS

- Construction industry employers shall develop a comprehensive COVID-19 exposure control plan, which includes control measures such as social distancing, symptom checking, hygiene, decontamination procedures and training. The exposure control plan and all protocols in this notice must be followed to prevent any onsite worker or job site visitor from contracting COVID-19.
- Job site workers and visitors shall practice social distancing by maintaining minimum 6-foot separation between all individuals, including during work breaks, gatherings of any size and when picking up or delivering equipment or materials. At the site, trades will be staggered or work schedules altered as necessary to reduce density, minimize the number of trade teams and maintain minimum 6-foot separation social distancing.
- Prohibit gatherings or meetings of 10 or more people at any time on the job site, including during lunch and other breaks. job site safety meetings should be held in smaller groups while maintaining required social distancing.
- Eliminate "choke points" and "high-risk areas" where workers are forced to stand together, such as hallways, hoists and elevators, break areas and buses, and control each to maintain required social distancing.
- Workers are not to share equipment or tools. If tool-sharing is required, each tool must be sanitized before and after each use. When cleaning or disinfecting areas or tools, do not use pressurized air or water spray to avoid generating bio-aerosols.
- Allow workers to regularly and thoroughly wash hands with soap and water or use alcohol-based hand sanitizers while on job sites at least every 30 minutes.
- Provide a clean and sanitary restroom with a handwashing station or hand sanitizer for employees and visitors, stocked with all necessary cleaning products like soap and sanitizer. Hand sanitizer should contain a minimum 60% ethanol or 70% isopropanol. Ensure job site toilets are regularly cleaned and/or sanitized. The recommended ratio of job site toilets to employees during the emergency declaration is 1:10 (to match size of groups allowable). If this is not feasible, job site toilets should be cleaned at a higher than standard frequency.
- Cease providing communal drinking water coolers, and ensure workers avoid sharing food or personal items. Contractors should provide bottled water.
- Discontinue carpool or ride-sharing of workers before, during and after work.
- 10. Maintain a daily attendance log of all workers and visitors, and managing site deliveries to limit direct contact between workers and minimize the overall headcount on the job site.

DESIGNATION OF COVID-19 SUPERVISOR

The owner or contractor shall designate a site-specific COVID-19 supervisor to enforce COVID-19 response practices on each job site and perform regular job site inspections. The designated COVID-19 supervisor shall be present on the construction site during construction activities and can be an onsite worker designated to carry out this role, such as the site foreman or the Project Manager.

PERSONAL PROTECTIVE EQUIPMENT

nployers must provide personal protective equipment (PPE) as appropriate for the activity being performed.

- All job site workers and visitors must be in possession of face coverings.
- Essential employees are required to wear face coverings when they are dealing with all job site visitors, including members of the public, City staff, representatives from federal, state or local agencies, and when circumstances (such as during meetings or when moving about the facility) make it challenging to practice social distancing.
- Face coverings include fabric coverings, such as scarves and bandana coverings. All reusable face coverings must be frequently washed, at minimum once a day, for the health and safety of users
 - and others. Single-use covers must be discarded appropriately into trash receptacles. Workers should use supplemental PPE, such as nitrile or latex gloves, when necessary.
- Workers shall not share PPE with coworkers unless they are cleaned and disinfected before and after use.

COVID-19 JOB SITE SIGNAGE

Post the latest CDC guidelines for required hygienic practices in both English and Spanish, together with any locally required signage, in conspicuous locations visible to all workers, including:

- Not touching face with unwashed hands or with gloves;
- Washing hands often with soap and water for at least 20 seconds;
- Use of hand sanitizer with at least 60% ethanol or 70% isopropanol alcohol;
- Covering the mouth and nose when coughing or sneezing; and
- Cleaning and disinfecting frequently-touched objects and surfaces including but not limited to workstations, keyboards, telephones, handrails, machines, shared tools, elevator control buttons and doorknobs.

COVID-19 JOB SITE WORKER WELLBEING CHECKS

- Ensure that all workers perform a daily symptom screening before arriving at the job site. Job site workers must notify their manager/employer and stay home if they:
- 1.1. Have a fever, or are exhibiting any COVID-19 symptom, or other symptoms of sickness;
- Are in a high-risk category, as defined by the CDC; or Have been exposed to or diagnosed with COVID-19, are required or advised to stay home, or have immediate or close family members who are sick with COVID-19.
- Any worker displaying a fever of 100 degrees of more, COVID-19 symptoms or other illnesses must leave the job site immediately, with notification given to the worker's appropriate management team and the COVID-19 Supervisor.

SWIMMING POOL SAFETY

Contractors are encouraged to conduct temperature checks for workers coming on to job sites.

- The swimming pool will be equipped with two drowning prevention safety features:
- 1.1. Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa. The exit alarm may cause either an alarm noise or a verbal warning, such as repeating notification that "the door to
- the pool is open" An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM Standard F2208 "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.

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DS-560 & COVID-19 SAFETY PROTOCOL NOTES

DATE: 10/14/2021

